

WAUKEGAN PARK DISTRICT

BID ADDENDUM #1

To: All Bidders

From: Tim Girmscheid, Manager of Planning Services

Re: Addendum #1

2023 DEVONSHIRE PARCEL SALE

Bids Due on Thursday, June 29 at 10:00 AM

Date: June 20, 2023

PLEASE MAKE NOTE OF THE CHANGES AND CLARIFICATIONS:

1. **Changes:** The address for bid delivery was corrected on pages 2 and 5 in the Request for Bids and are indicated in **RED** in the attached revised document. Please use this revised packet for the bid process.

End of Addendum #1

Thank you.

REVISED FOR ADDENDUM 1 6-20-23 – ALL CHANGES IN RED

Public Property Sale Notice

The Waukegan Park District (District) is accepting sealed bids for the purchase of the following District owned property:

Name: **Devonshire Parcel**

Address: **3323 Bristol Road, Waukegan, IL**

Size: **Approximately twenty-four tenths (.24) of an acre**

PIN#: **08-05-103-035**

Legal Description: **CASTLE CREST SUB UNIT 1 BLOCK 5**

The property is **being sold "as-is."** And the District makes no assertions or guarantees as to the quality of the property, its suitability for development, or the clarity of title. No refunds will be issued.

Interested buyers must submit a sealed bid by **10:00 am on Thursday, June 29, 2023** using the bid form which can be found within the bid packet at <https://www.waukeganparks.org/about/bids-quotes-rfps/>. At the time specified above and at the address below, the bids will be publicly opened and read aloud. Bids arriving after the specified time or at a different location will be rejected and will be returned unopened, including mailed bids regardless of when postmarked. Bids must be mailed or delivered to:

Waukegan Park District
Attn: Tim Girmscheid
2211 Ernie Krueger Circle
Waukegan, IL 60087

To enter a bid, fill out the DEVONSHIRE PARCEL BID FORM and place it in a sealed envelope. On the outside of the envelope write "Devonshire Parcel Bid". The minimum recommended bid for this property is \$100.00, however all bid amounts will be considered. The District will evaluate bids based on the best interests of the District. No bid may be withdrawn, and all bids shall remain firm for sixty (60) days after the bid opening. The Park District reserves the right to hold an additional sale if no responsive bids are received.

All bids must be accompanied by personal or cashier's check payable to the order of the Waukegan Park District for ten percent (10%) of the amount of the bid. No proposals or bids will be considered unless accompanied by such check.

A map of the parcel can be found in the bid packet, and more information can be found at Lake County Maps Online web page <https://maps.lakecountyil.gov/maponline/>. In the search box, enter the PIN listed above (without the dashes) and press "Enter". There is additional information on the map website, including aerial photography, tax districts, and assessment information.

For additional information, contact Tim Girmscheid at tgirmscheid@waukeganparks.org or 847-360-4755 or from June 12-16, 2023, contact Quincy Bejster at qbejster@waukeganparks.org or 847-360-4724 .

By Order of the Board of Park Commissioners of the Waukegan Park District, Jay Lerner, Executive Director. Waukegan Park District.

PUBLISHED DATE: June 10, 2023

DEVONSHIRE PARCEL BID FORM

Bids must be mailed or delivered to:

Waukegan Park District
Attn: Tim Girmscheid
~~1324 Golf Road~~ 2211 Ernie Krueger Circle
Waukegan, IL 60087

I hereby submit a bid in the following amount: \$ _____ for the property located at 3323 Bristol Road, Waukegan, IL, also designated as Permanent Index Number 08-05-103-035.

Name: _____

Address: _____

City, State, Zip Code: _____

Phone: _____

Email: _____

Signed: _____ Date: _____

Select one - I'd like to receive notifications regarding this property through:

- Email (will come from tgirmscheid@waukeganparks.org)
- Mailed through postal service
- Phone call to the number above

Aviso de Venta de Propiedad Pública

El Waukegan Park District (Distrito) está aceptando ofertas selladas para la compra de la siguiente propiedad perteneciente al Distrito:

Nombre: **Devonshire Parcel**

Dirección: **3323 Bristol Road, Waukegan, IL**

Tamaño: **Aproximadamente veinticuatro décimas (.24) de acre**

PIN #: **08-05-103-035**

Descripción legal: **CASTLE CREST SUB UNIT 1 BLOCK 5**

La propiedad se vende "tal cual". Y el Distrito no hace afirmaciones o garantías en cuanto a la calidad de la propiedad, su idoneidad para el desarrollo o la claridad del título. No se emitirán reembolsos.

Los compradores interesados deben enviar una oferta sellada antes de las 10:00 am del jueves 29 de junio de 2023 utilizando el formulario de oferta que se puede encontrar dentro del paquete de oferta en <https://www.waukeganparks.org/about/bids-quotes-rfps/>. A la hora especificada anteriormente y en la dirección que figura a continuación, las ofertas se abrirán públicamente y se leerán en voz alta. Las ofertas que lleguen después de la hora especificada o en una ubicación diferente serán rechazadas y se devolverán sin abrir, incluidas las ofertas enviadas por correo, independientemente de cuándo tengan el matasellos. Las ofertas deben enviarse por correo o entregarse a:

Waukegan Park District
A la atención de: Tim Girmscheid
2211 Ernie Krueger Circle
Waukegan, IL 60087

Para presentar una oferta, complete el DEVONSHIRE PARCEL BID FORM (FORMULARIO DE OFERTA DE PARCELA DE DEVONSHIRE) y colóquelo en un sobre sellado. En el exterior del sobre escriba "Devonshire Parcel Bid". La oferta mínima recomendada para esta propiedad es de \$ 100.00, sin embargo, se considerarán todos los montos de la oferta.

El Distrito evaluará las ofertas en función de los mejores intereses del Distrito. Ninguna oferta puede ser retirada, y todas las ofertas permanecerán firmes durante sesenta (60) días después de la apertura de la oferta. El Waukegan Park District se reserva el derecho de realizar una venta adicional si no se reciben ofertas receptivas.

REVISED FOR ADDENDUM 1 6-20-23 – ALL CHANGES IN RED

Todas las ofertas deben ir acompañadas de un cheque personal o de caja pagadero a la orden del Waukegan Park District por el diez por ciento (10%) del monto de la oferta. No se considerarán propuestas u ofertas a menos que vayan acompañadas de dicha verificación.

Se puede encontrar un mapa de la parcela en el paquete de oferta, y se puede encontrar más información en la página web de Lake County Maps Online <https://maps.lakecountyil.gov/mapsonline/>. En el cuadro de búsqueda, ingrese el PIN que aparece arriba (sin los guiones) y presione "Enter". Hay información adicional en el sitio web del mapa, incluyendo fotografías aéreas, distritos fiscales e información de evaluación.

Para obtener información adicional, comuníquese con Tim Girmscheid al tgirmscheid@waukeganparks.org o al 847-360-4755 o del 12 al 16 de junio de 2023, comuníquese con Quincy Bejster al qbejster@waukeganparks.org o al 847-360-4724.

Por orden de la Junta de Comisionados de Park de Waukegan Park District, Jay Lerner, Director Ejecutivo. Waukegan Park District.

FECHA DE PUBLICACIÓN: 10 junio, 2023

FORMULARIO DE OFERTA DE PARCELA DE DEVONSHIRE

Las ofertas deben enviarse por correo o entregarse a:

Waukegan Park District
A la atención de: Tim Girmscheid
~~1324 Golf Road~~ 2211 Ernie Krueger Circle
Waukegan, IL 60087

Por medio de la presente envío una oferta por la siguiente cantidad:
\$ _____ para la propiedad ubicada en 3323 Bristol Road, Waukegan, IL,
también designada como Número de Índice Permanente 08-05-103-035.

Nombre: _____

Dirección: _____

Ciudad, Estado, Código Postal: _____

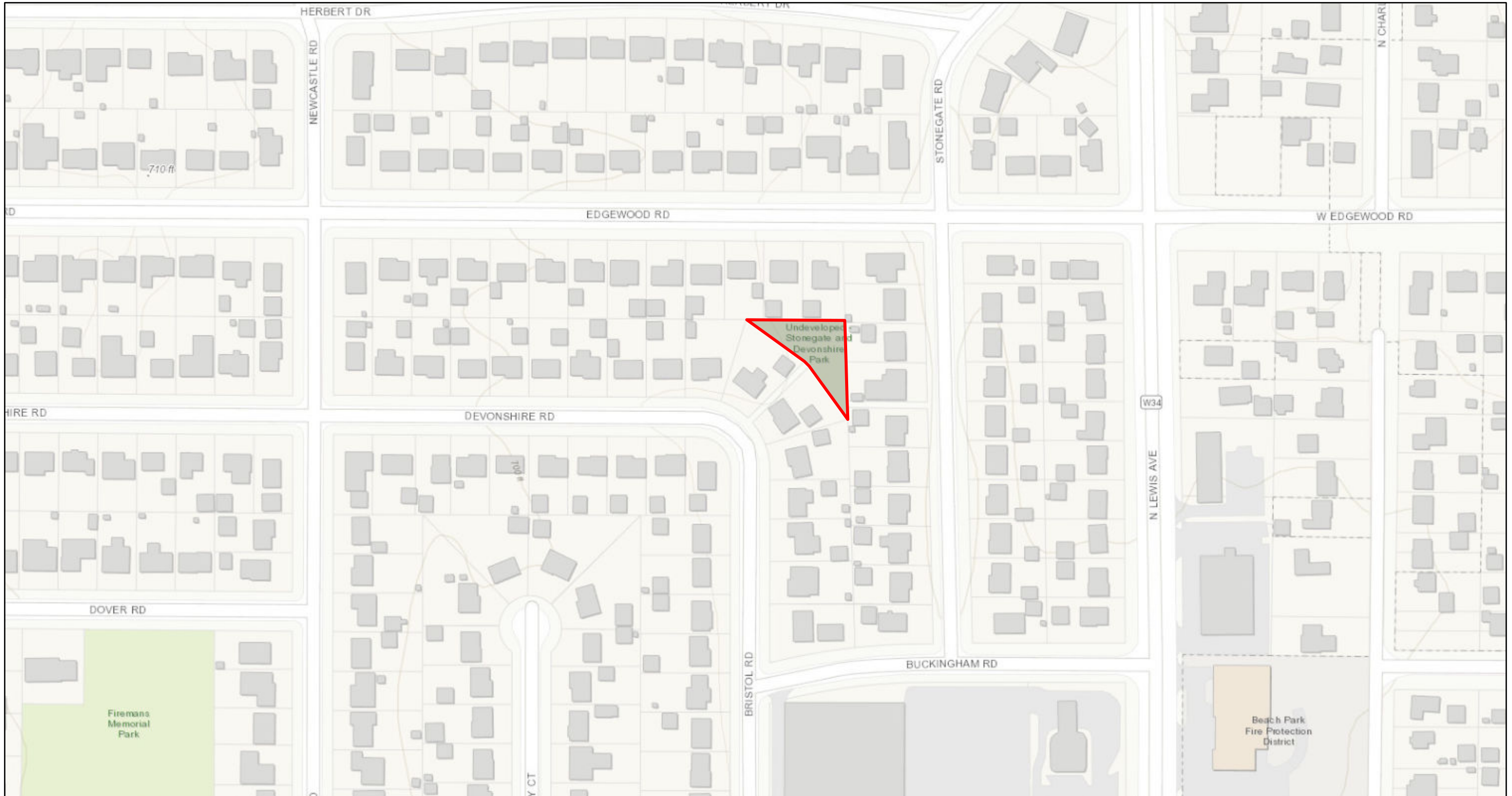
Teléfono: _____

Correo electrónico: _____

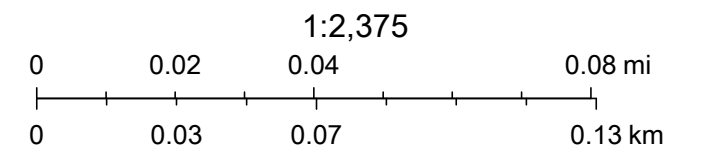
Firmado: _____ Fecha: _____

Seleccione uno: Me gustaría recibir notificaciones sobre esta propiedad a través de:

- Correo electrónico (vendrá de parte de tgirmscheid@waukeganparks.org)
- Enviado por correo a través del servicio postal
- Llamada telefónica al número anterior



August 24, 2022



Lake County, Illinois GIS Division, County of Lake, IL, Esri Canada, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA, USDA

**WAUKEGAN PARK DISTRICT
LAKE COUNTY, ILLINOIS**

RESOLUTION NO. 2023-04

WHEREAS, the Board of Park Commissioners of the Waukegan Park District (“District”) is authorized under the Park Commissioners Land Sale Act, 70 ILCS 1235/1, (“Act”) to sell certain parcels of land not exceeding three (3) acres in area that are no longer needed for park purposes;

WHEREAS, the Act requires that the District obtain the approval of the Circuit Court of the county in which the land is situated for leave to sell such parcel and that the Court may direct that the property be sold and conveyed upon such terms and conditions that the Court may think proper;

WHEREAS, the District is the owner of a certain parcel of property (hereinafter referred to as the “subject property”) commonly known as 3323 Bristol Road assigned permanent index number 08-05-103-035 and with a legal description as follows “CASTLE CREST SUB UNIT 1 BLOCK 5”, Waukegan, Lake County, Illinois, encompassing approximately twenty-four tenths (.24) of an acre, more or less, and depicted as shown in Exhibit A; and

WHEREAS, the District has determined that it no longer needs the subject property nor is the subject property necessary or useful for the purposes for the purposes of the District for the following reasons:

- a. The subject property is inaccessible to or from a main thoroughfare;
- b. The subject property has no access for parking;
- c. There are several parks near the subject property to serve the recreational needs of residents; and
- d. There is no need for the subject property for administrative or other uses of the District.

WHEREAS, the District has determined that it is in the public interest to sell the subject property.

NOW, THEREFORE, BE IT RESOLVED by the Board of Park Commissioners of the Waukegan Park District, Lake County, Illinois:

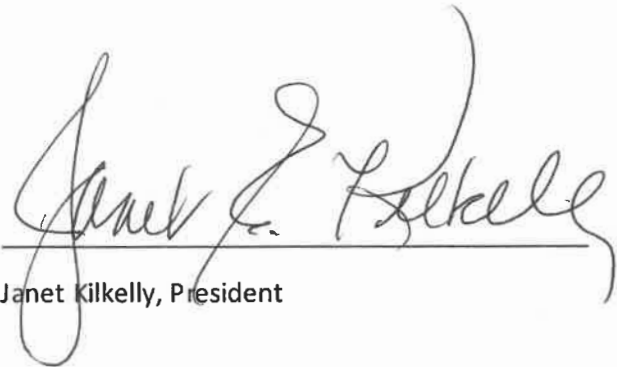
SECTION 1. The preambles to this Resolution are incorporated in this Section as if fully set forth herein.

SECTION 2. The subject property, being comprised of less than three (3) acres, shall be sold upon such terms and conditions as the Circuit Court of Lake County may think proper.

SECTION 3. The President, Secretary, and District Attorney are hereby directed to seek approval of the Circuit Court of Lake County for the sale and to sign all necessary documents required for the conveyance of the subject property.

SECTION 4. This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED this _____ 17th _____ day of _____ January _____, 2023.



Handwritten signature of Janet Kil Kelly in cursive script, written over a horizontal line.

Janet Kil Kelly, President



Handwritten signature of Amanda Florip in cursive script, written over a horizontal line.

Amanda Florip, Secretary