



## Addendum #2

Date: January 9, 2019  
To: Prospective Bidders  
From: Jenna Beck, Hitchcock Design Group (HDG)

**RE: Rose Park Splash Pad Demolition Package**

This addendum forms part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification. This addendum consists of the following changes identified in **bold**:

### Clarifications:

- C2.1 Remove entire granular base course beneath site pavements.
- C2.2 The Contractor will be required to remove all Universal Waste encountered within the buildings and limit of removals and haul from the site.

### Addenda:

- A2.1 L2.0-L2.2 A **6' high driven temporary chain link construction fence will be installed as shown** (see updated attached). This fence will be installed by the Demolition Contractor and signed over to the General Contractor for Phase 2 of the project.
- A2.2 L2.0-L2.2 **Replace Restoration Note #2 with "Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area."** (see updated attached).
- A2.3 L2.0-L2.2 **Add Restoration Note #3: "Contractor responsible for erosion control in all seeded areas."** (see updated attached).
- A2.4 L2.1 **Omit outfield fence removal except where removal is needed for construction gate installation** (see updated attached).
- A2.5 L2.2 **Omit boulder and shrub removals around the former Administration Building from project** (see updated attached).
- A2.6 L2.2 **Omit (4) tree removals from project** (see updated attached).
- A2.7 L2.2 **Remove shrubs in the pool deck area** (see updated attached).
- A2.8 L2.2 **Remove existing light poles directly east and west of the pool** (see updated attached).
- A2.9 L4.0 **CA-1 stone should be used for pool backfill** (see updated detail #2 attached).
- A2.10 **See attached SK1.0 for revised lighting electrical feed.**
- A2.11 L4.0 **Omit topsoil and clay backfill in swimming pools. Feather back slopes at a 3:1 minimum** (see updated detail #2 attached).
- A2.12 000415 **Replace Division 1 General Requirements temporary electric with electric adjustment** (see updated attached).
- A2.13 000415 **Strike 311000 Site Clearing, backfill pool w/engineered fill – main, CY from SOV** (see updated attached).
- A2.14 000415 **Strike 311000 Site Clearing, remove paving (concrete, pool deck), SF from SOV** (see updated attached).
- A2.15 000415 **Add 311000 Site Clearing, construction fence, LF to SOV** (see updated attached).
- A2.16 000415 **Add 311000 Site Clearing, construction fence – gates, PAIR to SOV** (see updated attached).

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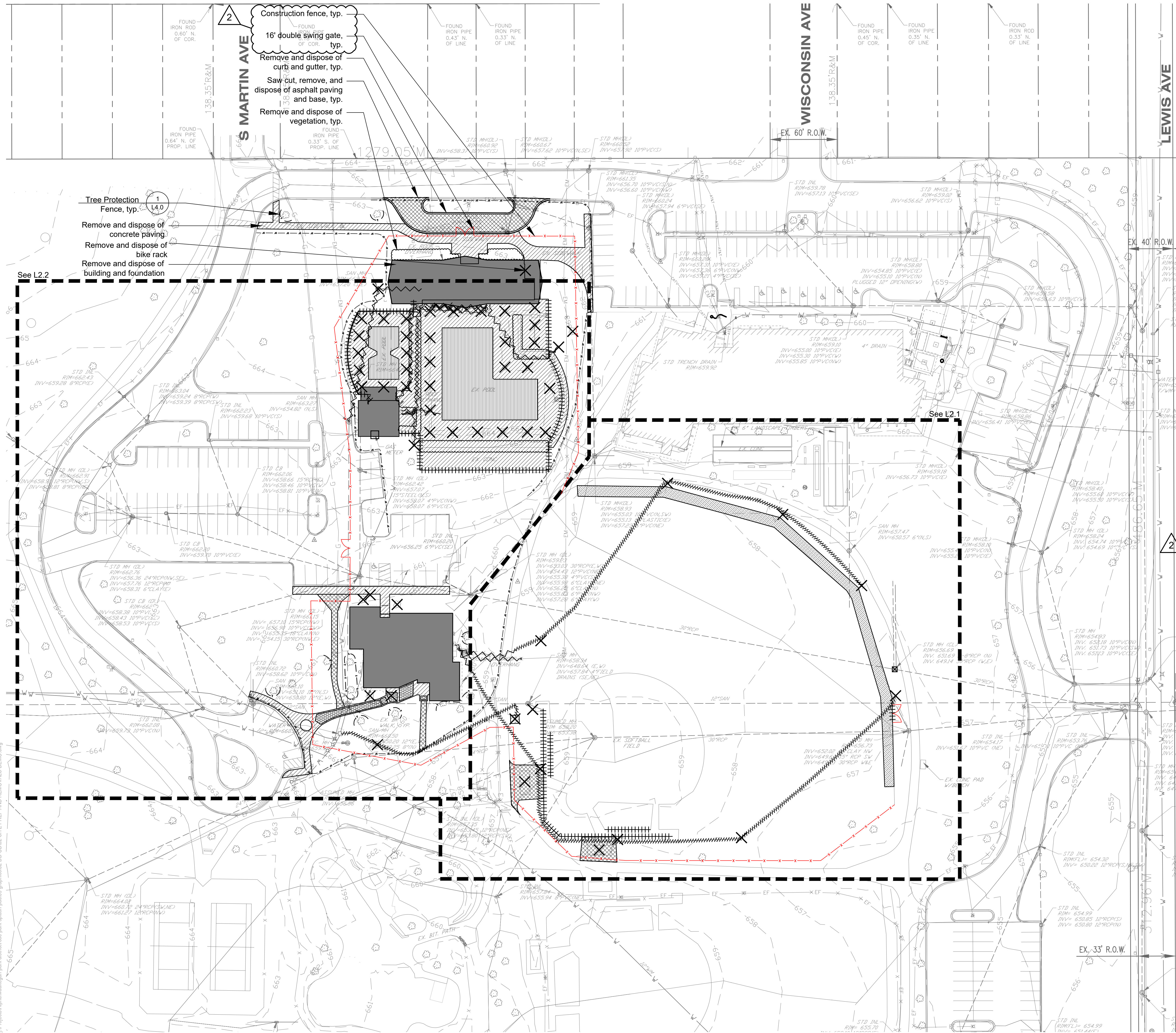


- A2.17 000415 **Strike 312000 Earth Moving, topsoil import (pool), CY from SOV** (see updated attached).
- A2.18 000415 **Strike 312000 Earth Moving, clay import (pool), CY from SOV** (see updated attached).
- A2.19 **All HVAC Refrigerant Abatement will be completed by the Owner.**
- A2.20 **The rooftop HVAC Unit on the Administration Building will be removed by the Owner.**

End of Addendum

cc: Girmscheid / Lerner / MacLean, Waukegan Park District  
Johnson, AT Group  
Brusseau / Hornig, HDG





**SITE PREPARATION AND REMOVALS NOTES**

- Contractor shall install construction fence at the limits of construction prior to beginning work. Maintain and adjust construction fencing as needed during progress of construction. Staging and construction access shall be approved by Owner.
- Contractor shall install tree protection fencing as shown on the plans prior to beginning work. Maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
- Plans indicate general location and limits of removals. Contractor shall perform removals only as necessary for construction of proposed improvements. No additional payments will be made for removals or restoration not required to construct the improvements as drawn and specified.
- Sawcut and remove concrete paving to nearest joint where indicated. All saw cuts required for removal items to be included in the unit cost of that particular pay item.
- Tree stumps shall be ground to a minimum depth of 24" below existing grade or as required to properly perform the work.
- Remove all utilities designated for removal to extent required for improvements, unless otherwise noted. Cap ends of any remaining underground conduit and piping, and pull all electrical wire out at source.
- Items indicated for Removal shall include complete removal of above grade item and below grade appurtenances (foundations, urban fill, wiring, piping, etc.) including disposal off-site following applicable codes and ordinances, unless otherwise shown on the plans.
- Contractor to protect all existing utilities and all other site features not designated for removal. Contractor is responsible for replacing/repairing any existing utilities or other site features damaged during construction to the original condition at no cost to the Owner.
- Contractor responsible for maintaining existing utility services (electrical, sanitary, storm) during construction unless otherwise indicated in the Contract Documents.
- Contractor shall coordinate all work so public sidewalk and other facilities remain open throughout construction.
- Contractor responsible for coordinating shutoff with utility companies as needed. Account information will be provided. Building demolition will include the termination of all utilities that service the building but not limited to electrical, natural gas, sanitary sewer, storm sewer, data, and phone and the removal of the entire structure, including but not limited to all building materials, roofing, walls, slabs, foundations, partitions, floor coverings, fixtures, cabinetry, conduit, piping, HVAC systems, and remaining furnishings.
- Existing south baseball field lighting, panels, and utility service to remain.
- Refer to specifications for additional conditions, standards and notes.

**RESTORATION NOTES**

- Backfill all demolished buildings, walks, and swimming pool to meet surrounding existing grade. See Detail 2 L4.0.
- Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded areas.

**SITE PREPARATION AND REMOVALS LEGEND**

	Remove and dispose of asphalt paving and gravel base. Remove subgrade material as needed.
	Remove and dispose of warning track material.
	Remove and dispose of concrete paving and gravel base. Remove subgrade material as needed.
	Remove and dispose of building and foundation.
	Remove and salvage brick pavers (by owner).
	Backfill pool, see detail 2, L4.0.
	Tree Protection Fence
	Item to be removed
	Limit of sawcut
	Remove and dispose of utility line, cap ends
	Cut, cap ends, and abandon utility line
	Silt fence
	Construction fence

**HITCHCOCK DESIGN GROUP**  
creating better places

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PREPARED FOR  
**Waukegan Park District**  
1324 Golf Road  
Waukegan, Illinois 60087

PROJECT  
**Rose Park Splash Pad**  
412 S Lewis Avenue  
Waukegan, Illinois 60085

**CONSTRUCTION DOCUMENTS - DEMOLITION PACKAGE**  
December 20, 2018

REVISIONS		
No	Date	Issue
2	2019.01.09	Addendum #2

CHECKED BY: EFH      DRAWN BY: JEB / JFB

**Site Preparation and Removals Plan**

SCALE IN FEET  
1" = 40'

NORTH

SHEET NUMBER  
**L2.0**

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- Remove and dispose of building and foundation.
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- Backfill pool, see detail 2, L4.0.
- Tree Protection Fence
- Item to be removed
- Limit of sawcut
- Remove and dispose of fencing
- Remove and dispose of utility line, cap ends
- Cut, cap ends, and abandon utility line
- Silt fence
- Construction fence

CONSTRUCTION DOCUMENTS -  
DEMOLITION PACKAGE  
December 20, 2018

REVISIONS		
No	Date	Issue
2	2019.01.09	Addendum #2

CHECKED BY: EFH      DRAWN BY: JEB / JFB

SHEET TITLE  
**Site Preparation and Removals Plan Enlargement**

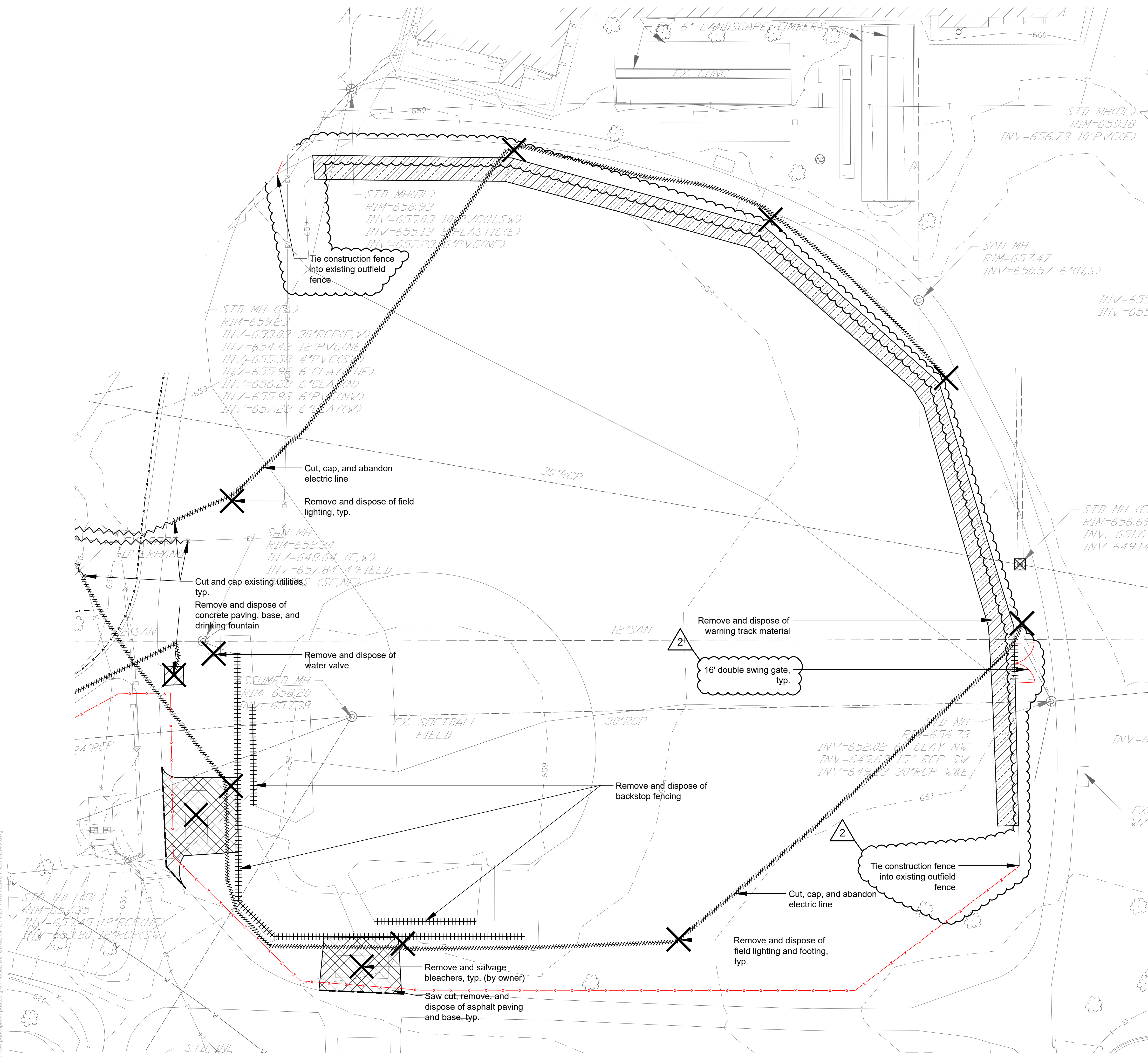
SCALE IN FEET  
1" = 20'

0' 10' 20' 60'

NORTH      SHEET NUMBER

**L2.1**

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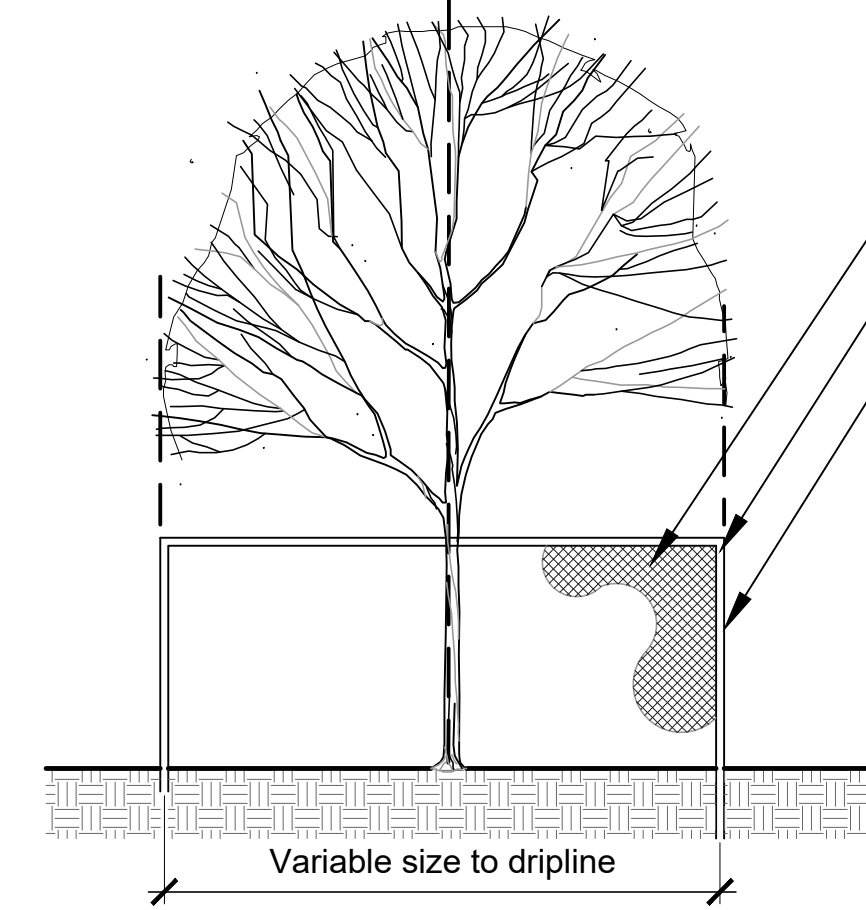
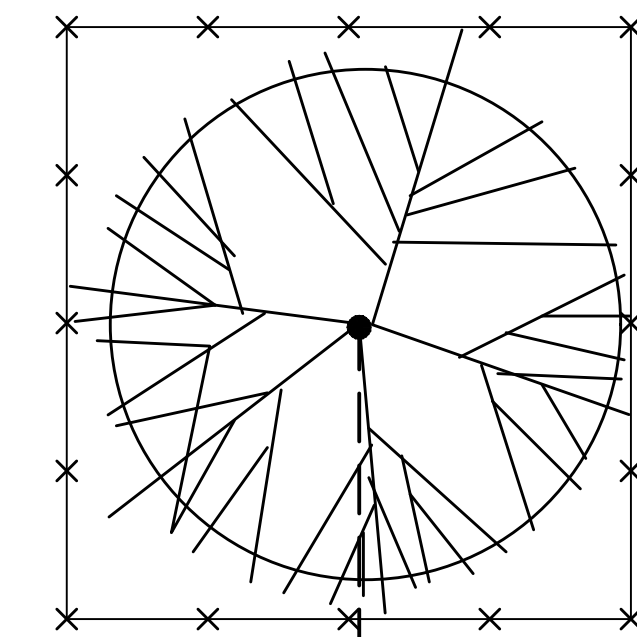


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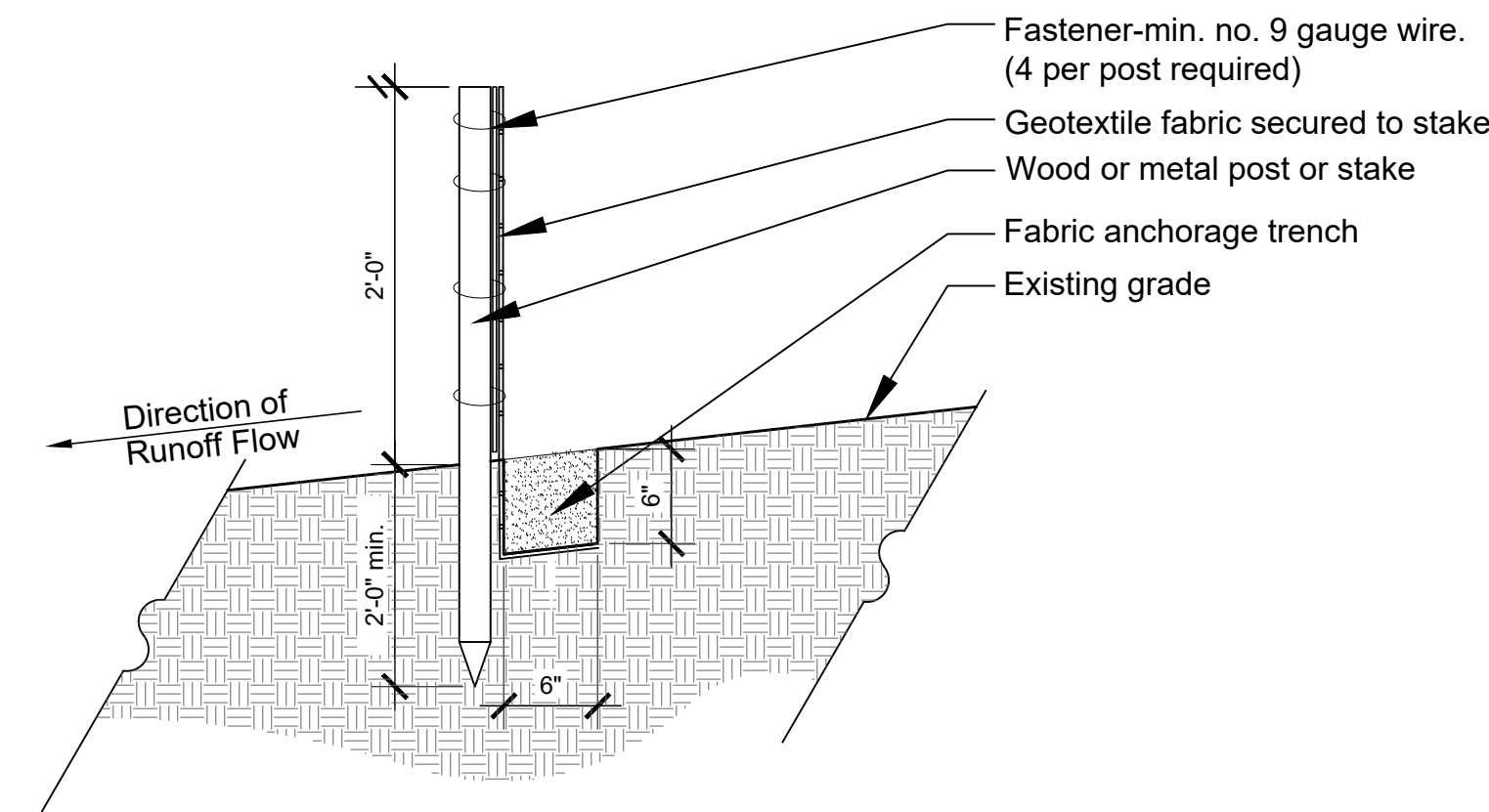




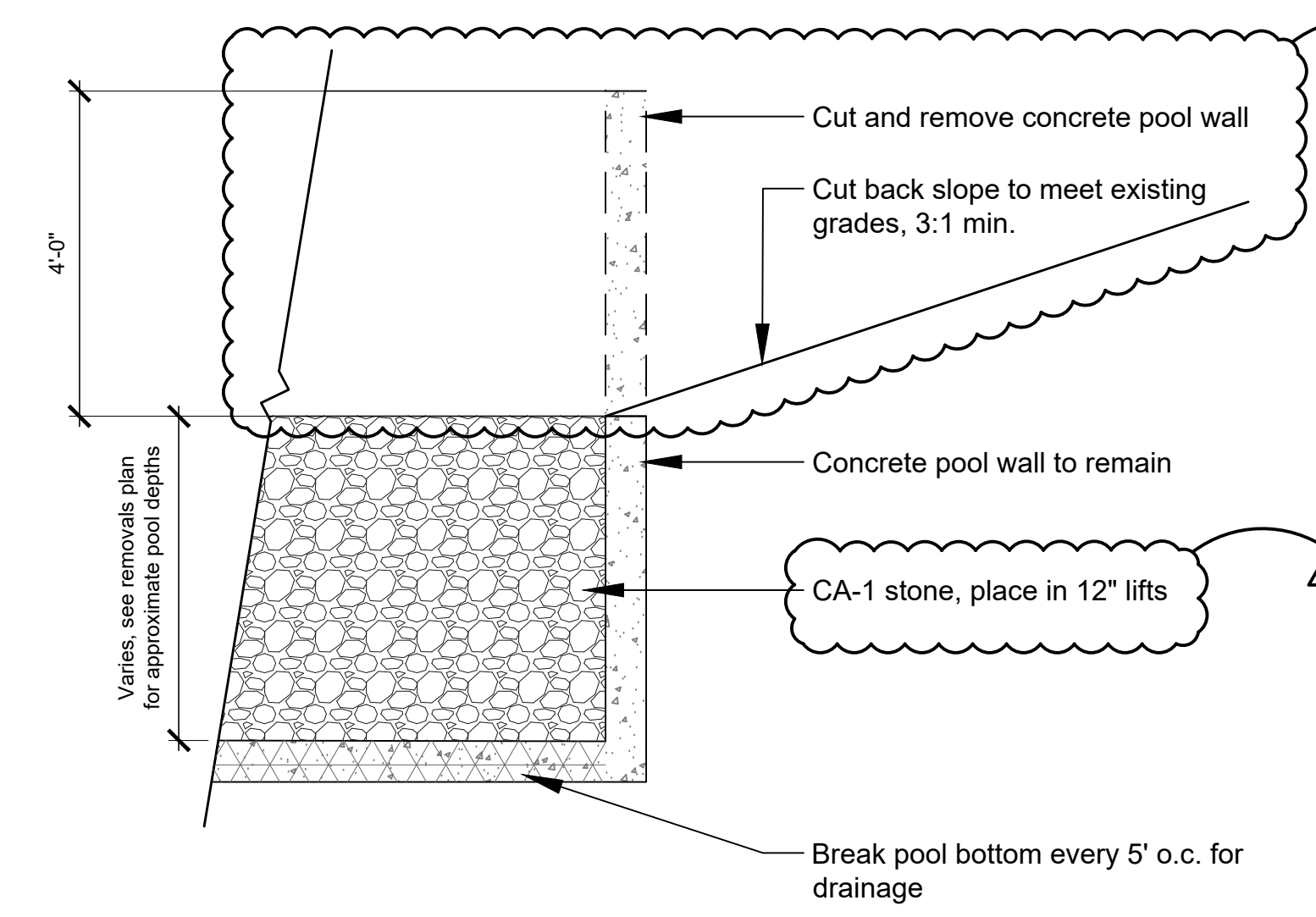
- 4' high fence
- Direct bury metal posts
- Locate fence beyond dripline of existing trees to remain, at the edge of proposed improvements, or as shown

- NOTES:
- 1 After trees are safely fenced nothing is to be raked out, cut, planted, stored, or disturbed inside the fence.
  - 2 Remove protective fence only after all construction work has been finished.

**1** Tree Protection Fence  
1/2" = 1'-0"



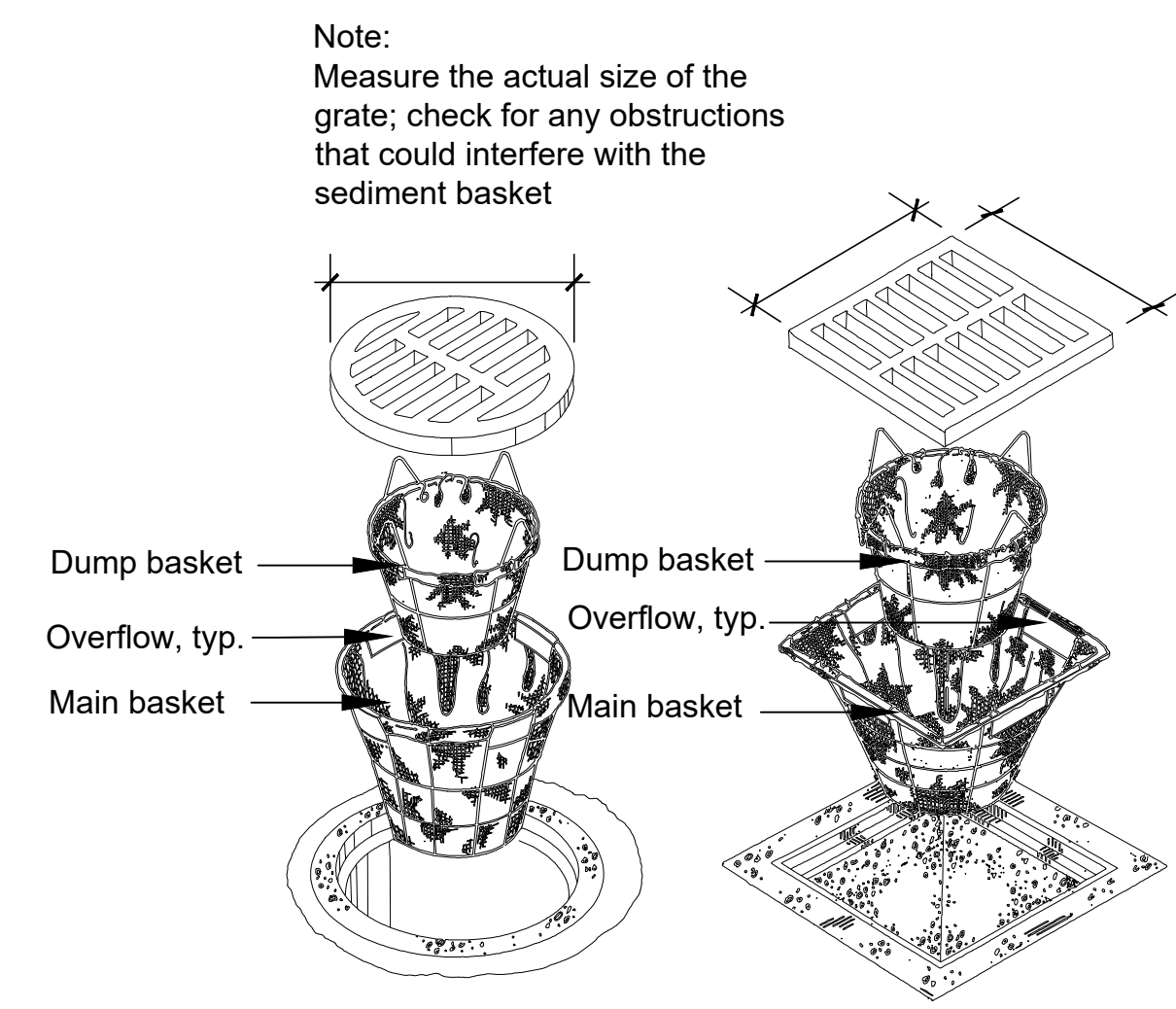
**3** Silt Fence  
1" = 1'-0"



Tot	24"
Main	48"
Diving	Varies
Paving	10-12"

Note: Section is only required to depths of excavation i.e. for tot pool, only the top 24" of this section is required.

**2** Backfill  
1/2" = 1'-0"



**4** Inlet Basket  
1/2" = 1'-0"

No	Date	Issue
2	2019.01.09	Addendum #2



SECTION 000415 - SCHEDULE OF VALUES

Date: December 20, 2018  
 RE: ROSE PARK SPLASH PAD DEMOLITION PACKAGE

NOTES:

1. Bidder to complete Section 000415-Schedule of Values and enter total amount in appropriate space in Section 000410-Bid Form.
2. Bidder is responsible for performing all quantity take-offs necessary to complete the work as drawn and specified.
3. The successful bidder will be required to enter into a lump sum contract agreement with the owner. No additional payments will be made due to discrepancies between bidder's estimated quantities, owner's estimated quantities, and the actual installed quantities to construct the work as drawn and specified .
4. This Schedule of Values form will become part of the Contract Documents and will be used as a basis for reviewing the Contractor's Applications for Payment. The Schedule of Values Unit Prices and 000416-Unit Price Schedule will be used to establish change orders for additions or deductions to the project as approved by the Owner.
5. This Schedule of Values form is available in Microsoft Excel format from the landscape architect upon request.

Section	Description	Bidder's Est. Qty.	Unit	Unit Cost	Extended Cost	Subtotal
<b>Division 1 General Requirements</b>						
	contracting requirements		LS			
	layout		LS			
	<b>electric adjustment</b>		<b>LS</b>			
Section Subtotal:						
<b>024119 Selective Structure Demolition</b>						
	administrative building demolition		LS			
	pool house demolition		LS			
	pump house demolition		LS			
Section Subtotal:						
<b>311000 Site Clearing</b>						
	<b>backfill pool w/ engineered fill – main</b>		<b>CY</b>			
	remove pool walls / deck		LS			
	remove and cap storm line		LF			
	remove and cap water line		LF			
	remove and cap sanitary line		LF			
	remove and cap gas line		LF			
	remove and cap telephone line		LF			
	remove electric		LS			
	remove bike rack		LS			
	remove boulders		LS			
	remove warning track material		SF			
	remove fence (backstop)		LF			
	remove fence (outfield)		LF			
	remove fence (pool)		LF			
	remove paving (concrete)		SF			
	<b>remove paving (concrete, pool deck)</b>		<b>SF</b>			



remove paving (asphalt)		SY		
remove sports lighting		LS		
remove tree		EA		
remove water valve		LS		
tree protection fence		LF		
remove drinking fountain		LS		
silt fence		LF		
inlet protection		LS		
asbestos removal and abatement		LS		
<b>construction fence</b>		<b>LF</b>		
<b>construction fence - gates</b>		<b>PAIR</b>		

Section Subtotal:

<b>312000</b>	<b>Earth Moving</b>
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topsoil import		CY		
<b>topsoil import (pool)</b>		<b>CY</b>		
<b>clay import (pool)</b>		<b>CY</b>		
engineered fill import (pool)		CY		

Section Subtotal:

<b>329200</b>	<b>Turf and Grasses</b>
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seed		SY		
erosion control blanket		SY		

Section Subtotal:

Base Bid Project Total:

END OF SECTION 000415